



# MESA VERDE

## DRIPPING SPRINGS

### DESIGN GUIDELINES



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# LEGAL

These design guidelines are a companion to the *Mesa Verde Community Manual* and the *Declaration of Covenants, Conditions, and Restrictions for Mesa Verde* (collectively referred to as the “Restrictions”) and reinforce the restrictions.

## Variations and Duration of Approval

The Architectural Control Committee (ACC) may grant variations from compliance with any provision of the Design Guidelines when it determines such a variation is justified, however, all variations must be approved during the Development Period. All variations must be requested in writing and signed by the Declarant during the Development Period and by a majority of the members of the ACC thereafter. If a variation is granted, no violation of the Restrictions, Covenants, and Conditions or Design Guidelines will be deemed to have occurred with respect to the matter for which the variation was granted. The granting of variations will not waive or amend any term or provision of the Design Guidelines or any restriction except as to the particular property and particular instance covered by the variation. Variations will not be considered to establish a precedent for any future waiver, modification, or amendment of the terms and provisions of the Design Guidelines or any restriction.

Unless otherwise directed by the ACC, the approval of plans, specifications, and variations granted by the ACC will be valid for 180 days. If construction in accordance with approved plans, specifications, and variations is not commenced within 180 days and diligently completed, the owner must resubmit plans, specifications, and variation requests to the ACC for re-approval.

## Definitions

Accessory Structure is any structure other than the primary residence and must be approved by the ACC.

Architectural Control Committee (ACC) is the committee created pursuant to the *Declaration of Covenants, Conditions, and Restrictions for Mesa Verde* to review and approve or deny plans for construction, placement, modification, alteration, or remodeling of any improvement on a lot.

Association is the Mesa Verde Property Owners Association, Inc., a Texas nonprofit corporation, created by the Declarant to exercise the authority and assume the powers specified in Article 4 and elsewhere in the Declaration and Restrictions.

Board is the Board of Directors of the Association.

Building Height is maximum building height which is measured from the finished floor elevation of the first floor to the highest point on a flat or shed roof or the roof ridge or rake.

Common Area is any property or facilities owned by the Association.

Community Manual is the community manual adopted and recorded by the Declarant or Board of the Association and recorded as part of the initial project documentation for the benefit of the Association.

Declarant is Mesa Verde Texas LLC, a Texas limited liability company, its successors or assigns.

Design Guidelines are the standards for design, construction, landscaping, and exterior items and may consist of multiple written design guidelines applying to specific portions of the property.

Development Period is the period of time between the recording of the *Declaration of Covenants, Conditions, and Restrictions for Mesa Verde* ending 25 years later, unless terminated by the Declarant.

Improvement is every structure and all appurtenances whether temporary or permanent.

Lot is any portion of the property designated by Declarant or shown as a subdivided lot on a plat.

Plat is a recorded subdivision plat of any portion of the property.

Property is that certain property known as Mesa Verde, a subdivision in Hays County, Texas.

Restrictions are the restrictions, covenants, and conditions contained in the *Declaration of Covenants, Conditions, and Restrictions for Mesa Verde*, *Mesa Verde Community Manual*, and *Rules or policies promulgated by the Declarant or Board*.

Rules are any instrument adopted by the Declarant or Board for the regulation and management of the property.

Workmanlike is work performed in a skillful, competent, thorough, well-executed manner.

# SITE DESIGN



## Site Design

Development should respectfully blend with the natural features and topography of the land. Placement of driveways, utility infrastructure, fencing, sport courts, swimming pools, paths, landscape and lawn areas, lighting, and structures should be thoughtfully considered prior to site clearing and can also contribute to wildfire-resistant design. A well-designed site will balance context, climate and environment, privacy, function and aesthetics, as well as applicable regulations and restrictions.



# ARCHITECTURE





## Architectural Style

Architectural style should be coherent, legible, inspired by, and contextually consistent with the traditional Texas Hill Country aesthetic.



## Primary Residence

A primary residence must be at least 100 feet from a property boundary, between 3,500 and 10,000 square feet, and may be up to 40 feet in height. Only one primary residence may be constructed on a lot.

## Use Restrictions

Lots may only be used for single-family residential purposes.

## Building Form

The roof may not take up more than 40 percent of the total front elevation of a structure. Structures should have an appropriate ratio of roof to building, creating a clear and pleasant hierarchy.

## Wildfire-Resistant Building Design

Central Texas is generally at great risk for wildfire damage, and Mesa Verde is within the “high wildfire risk” area according to the Texas A&M Forest Service.

Structures must be designed using wildfire-resistant methods like simple rooflines with few places for leaf litter accumulation and smaller windows facing wildland areas while using fire-resistant materials like non-flammable roofing and siding, dual-pane or tempered glass windows, and metal mesh-screened vents.



# Exterior Finishes and Details

## Exterior Cladding

Exterior cladding of any structure may consist of up to 2 building materials from this section used in any combination, however, brick and stone may not be combined. No more than 3 consecutive primary residences may have the same exterior cladding or color palette.

### Stone

Only one type and color of stone may be used on a structure. Stone must vary in size. Color may be various shades of brown, gray, or white. Joint mortar may be tooled or overgrouted.



### Brick

Only one type, size, and color of brick may be used on a structure. Color may be various shades of brown, gray, or white. Joint mortar may be tooled or overgrouted.



### Stucco

Only one texture and color of stucco may be used on a structure. Color may vary between shades of gray, light tan, and white.



### *Other Cladding Materials*

Wood and cementitious cladding may be applied as feather edge, shiplap, square edge, board and batten, and tongue and groove. Metal cladding must use standing seam or snap lock and fasteners may not be exposed. Depending on type, these cladding materials must be sealed, stained, powdercoated, or painted various shades of brown, black, gray, green, or white.

### Roofing Materials

Roofing must be non-combustible, non-reflective material including concrete or clay tile, slate, or standing seam metal, and may be various shades of black, brown, gray, or silver. Composition shingles may not be used. Other roofing materials or colors may require special approval of the ACC.



### Mid-Scale Elements

Mid-scale architectural elements such as dormers, projections, awnings, porches, and indentions in forms must be simple in shape and detailing, avoiding complex forms, and excessive additive detailing. Only one type, size, and detailing of each mid-scale architectural element may be used per structure. For example, if a residence uses dormers, all dormers must be substantially similar in type, size, shape, and detailing.

### Eaves, Soffit, and Fascia

A maximum of two types of eaves, soffit, or fascia are permitted. If a residence has more than one type of eave, soffit, or fascia, the change in type must occur in conjunction with a change in building massing or primary facade material.

### Windows, Screens, and Doors

Windows, screens, and metal doors must be powdercoated in a black, anodized dark bronze, dark gray, or white finish. Other doors must be natural wood tones or painted earthtones such as various shades of black, brown, gray, or white. Wrought iron ornamentation or bars may not be added to windows or doors.

### Lintels

Windows in masonry walls must have an expressed lintel.

### Glass

Glass for windows and doors must be low-emissivity (Low-E) and double or triple-paned. Reflective glass, reflective film, and tint are not permitted. Leaded, beveled, and stained glass must be approved by the ACC.

### Gutters, Downspouts, and Rain Chains

Gutters, downspouts, and rain chains must be earthtones consistent with the material and color palette such as white, brown, gray, bronze, or copper. Downspout locations and driplines of roofs without gutters should be erosion-resistant surfaces with positive drainage away from structures.

### Chimneys

Chimneys must be clad in masonry and equipped with spark arresters.

### Vents

Vents must be consolidated to reduce visual clutter and unnecessary roof penetrations.

## Garage

A garage must be used for the storage of automobiles and may not be used for habitation. All residences must have a garage capable of storing at least 3 motor vehicles.

### Orientation and Form

No more than 3 consecutive residences may have a garage on the same side of the lot. Detached and side-loaded garages are strongly preferred to front-loading garages so the garage does not dominate the appearance of the residence. Front-loaded garages must be set back at least 10 feet from the primary facade of the residence.

### Materials and Appearance

Garage doors may be metal, wood, or glass and may be natural wood tones or painted earthtones such as various shades of black, brown, gray, or white. Treatment of detail on garage doors must be consistent with the overall character of the residence or detached garage. Glass may be used in the upper portion of metal or wood doors in order to provide additional aesthetic variation but must follow the glass standards from the Exterior Finishes and Details subsection.

### Door Size and Operation

Single-car garage doors must be between 8 to 10 feet in width. Two-car garage doors must be between 16 to 18 feet in width. Garage door operation types may be Sectional, Tilt-Up Canopy, Tilt-Up Retractable, and Carriage.



## Accessory Structures

Accessory structures should be responsive to and consistent with the primary residence. Building materials including roofing, cladding, fenestration, appurtenances, and color palette must be consistent with the material and color palette of the primary residence. Accessory structures must be constructed in a workmanlike manner using quality building materials of natural wood tones or painted earthtones such as various shades of black, brown, gray, or white. Building foundations must be professionally designed and installed. Accessory structures must be screened from adjacent property and roadways through site selection, selective clearing, and planting. There may be up to 7 accessory structures per lot.

### Detached Garage

A detached garage must be at least 75 feet from a property boundary, located in the side or rear yard, may be up to 2,500 square feet and 30 feet in height. Only 1 detached garage may be constructed on a lot.



### Guesthouse

A guesthouse and associated parking must be at least 75 feet from a property boundary, located in the side or rear yard, may be up to 2,500 square feet and 30 feet in height. Only 1 guesthouse may be constructed on a lot.



### Other Outbuildings

Other outbuildings must be at least 75 feet from a property boundary, located in the rear yard, may be up to 600 square feet and 15 feet in height. Only 1 Other outbuilding may be constructed on a lot.



### Shade Structures

Freestanding shade structures such as a cabana, pergola, arbor, or trellis must be at least 75 feet from a property boundary, located in the rear yard, may be up to 800 square feet and 15 feet in height. Pergolas must match the height of the roof edge if located near the primary structure. Only 2 shade structures may be constructed on a lot.





### Equestrian Barn and Paddocks

An equestrian barn must be at least 100 feet from a property boundary, located in the rear yard, between 750 and 5,000 square feet, and may be up to 35 feet in height. A paddock must be at least 100 feet from a property boundary or waterway and must be attached to the barn as the size and nature of the lots cannot support horses without supplemental feeding. Paddocks may be up to 30 by 60 feet, fenced with unfinished square steel Perimeter fencing, and must have positive drainage away from barn and paddock. Only 1 barn and up to 2 paddocks may be constructed on a lot.



### Chicken Coop

A chicken coop must be at least 100 feet from a property boundary or waterway, located in the rear yard, may be up to 100 square feet and 10 feet in height. Coops may be freestanding or attached to another structure like a barn. Only 1 chicken coop may be constructed on a lot.



### Beehive and Apiary

Beekeeping infrastructure must be at least 100 feet from a property boundary, located in the rear yard, may be up to 100 square feet and 5 feet in height.



### Treehouse and Play Structure

A treehouse or play structure must be at least 100 feet from a property boundary, located in the rear yard, may be up to 200 square feet and 15 feet in height. Treehouses and play structures may be freestanding, attached to a tree or another structure. Only 1 treehouse or play structure may be constructed on a lot.



# ADDITIONAL INFRASTRUCTURE



## Additional Infrastructure

Additional infrastructure should be responsive to and consistent with the site, primary residence, accessory structures, and must be constructed in a workmanlike manner using quality building materials. Footings for masonry columns, address monuments, air conditioner condensers, rainwater harvesting systems, and masonry walls must have compacted gravel subbase at least 4 inches in depth with a concrete footing at least 4 inches in depth.

## Driveway

A driveway must be at least 14 feet in width with a driveway apron of at least 30 feet in width at the edge of pavement. Driveways must be set back at least 75 feet from a side property boundary except for cul-de-sac lots 7, 8, 12, 21, 22, and 23 which must be at least 25 feet from a side property boundary. Driveways must comply with all Hays County requirements and may not interfere with established drainage patterns. Only one driveway may be constructed on a lot. Driveway details are attached in Appendix C, Building and Driveway Setbacks.

## Materials

The first 50 feet as measured from the edge of pavement must be paved with concrete. The remainder of driveway must be paved with concrete, pavers with concrete curbs, gravel with concrete curbs, asphalt with concrete curbs, concrete runners with gravel between, however, concrete driveways are preferred. Finished height of gravel should be at least 3/4-inch below the finished height of concrete curbs to ensure containment. Gravel size must be less than 3/4-inch and may be various shades of black, brown, or gray.



## Vehicle Gate and Masonry Columns

A vehicle gate must be set back at least 35 feet from a property boundary and located over the driveway. Vehicle gates must be a standard Mesa Verde gate with an option for a customizable plate. A minimum of 4 masonry columns at the gate entrance will be substituted for Perimeter fencing steel posts but crossmembers must be Perimeter fencing. Masonry columns must be 2.5 feet in width, 2.5 feet in depth, 6 feet in height, and must comply with the Exterior Finishes and Details subsection.



## Address Monument

Addresses must be displayed near the driveway entrance on a masonry address monument with Mesa Verde standard address plate. Address monuments must be 4 feet in length, 1.5 feet in width, 2 feet in height, with a 3-inch cap, and must comply with the Exterior Finishes and Details subsection.

## Air Conditioners

Air conditioning infrastructure must be installed on the ground to the rear or side of the structure and not visible from any roadway or adjacent property. Air conditioning infrastructure must be enclosed by a screenwall up to 5 feet in height constructed of building materials consistent with the material and color palette of the structure it serves.

## Refuse and Recycling

When not awaiting collection on the designated day, refuse and recycling bins must be screened from view of any roadway or adjacent property if not located inside a structure. Screening may be provided by a screenwall constructed of building materials consistent with the material and color palette of the structure to which it is attached.

## Swimming Pool and Hot Tub

A swimming pool or hot tub must be located in the rear yard at least 100 feet from a property boundary, in-ground and not visible from any roadway or adjacent property. Pool infrastructure such as pumps, filters, and hoses must be enclosed by a screenwall constructed of building materials consistent with the material and color palette of the primary residence. Additional appurtenances for swimming pools such as diving boards, slides, or waterfalls may be up to 8 feet in height above the surface of the pool deck.



## Sport Court

A sport court must be located in the rear yard at least 100 feet from a property boundary, not visible from adjacent property or any roadway or adjacent property, and may be up to 5,000 square feet. Only one sport court may be constructed on a lot.



## Equestrian Riding Facility

An equestrian riding facility must be at least 100 feet from a property boundary, located in the rear yard, fenced with unfinished square steel Perimeter fencing, and may be up to 15,000 square feet in area. Equestrian riding facilities must be open air and may not be enclosed or covered with a structure. Only 1 equestrian riding facility may be constructed on a lot.



## Flags

Flags may be up to 3 feet by 5 feet, must be maintained in good condition and displayed in accordance with applicable federal and state regulations.

### Structure-Mounted

Up to 2 flags may be mounted on a structure near the principal entrances on flagpoles up to 5 feet in length.

### Freestanding Vertical Flagpoles

Freestanding vertical flagpoles must be approved by the ACC and may be up to 20 feet in height. Only 1 flagpole may be installed with written approval of the ACC and a description of proposed location, materials, dimensions, and color must be provided.

### Lighting

Flags may be illuminated by up to 1 halogen exterior light of low intensity. It is customary to raise the United States flag at sunrise and lower it at sunset or during rain or inclement weather. If displayed through hours of darkness, direct illumination is not required if there is sufficient ambient light to allow the colors of the flag to be recognized.

## Solar Energy Devices

Solar Energy Devices (SED) must be at least 75 feet from a property boundary and may be ground or roof-mounted. SEDs require ACC approval and a description of proposed location, dimensions, color, and photographs or renderings must be provided. If roof-mounted, the SED may not extend higher than or beyond the roofline and must conform to the slope of the roof. If mounted on the ground, no portion of the device may extend above a screenwall constructed of building materials consistent with the material and color palette of the primary residence. Supportive infrastructure must be silver, black, or bronze.

## Rainwater Harvesting System

A Rainwater Harvesting System (RHS) must be located in the rear or side yard at least 75 feet from a property boundary, and must be consistent with the color scheme of the structure to which it is attached. Rainwater harvesting systems require ACC approval and a description of proposed location, dimensions, color, and photographs or renderings must be provided. If the RHS is installed in a side yard visible from the roadway or adjacent property, the ACC may regulate the characteristics of the RHS and require screening to be provided.

## Propane Tank

A propane tank must be located in the rear or side yard at least 100 feet from a property boundary, and not visible from any roadway or adjacent property. If not buried underground or screened by a vegetative buffer, propane tanks must be enclosed by a screenwall constructed of building materials consistent with the material and color palette of the primary and accessory structures.

## Electricity Transformer

Electricity transformers located on private property must be screened from view of any roadway or adjacent property. Screening must be provided by a vegetative buffer in accordance with the Landscape section.



## Exterior Lighting

Exterior lighting should create a warm and inviting atmosphere while also preventing light pollution and light trespass. Lighting should only be on when necessary, only light the area necessary, be no brighter than necessary, and be fully shielded. Color temperature affects light pollution; lighting with a more yellow appearance is better for the health of humans and wildlife than lighting with a white or bluish appearance. Exterior lighting must be compliant with International Dark Sky Association guidelines and approved by the ACC. Exterior lighting must be fully shielded, directed downward 90 degrees perpendicular to the ground, and mounted up to 10 feet from the ground.

### Equestrian Riding Facility

Equestrian riding facility lighting must be fully-shielded LED lighting mounted up to 20 feet in height directed downward 90 degrees perpendicular to the ground. Lighting may be up to 150 watts with up to 150 lumens per watt. Up to 4 light poles with one fixture per pole may be constructed on a lot.

### Sport Court

Sport court lighting must be fully-shielded LED lighting mounted up to 20 feet in height directed downward 90 degrees perpendicular to the ground. Lighting may be up to 150 watts with up to 150 lumens per watt. Up to 4 light poles with one fixture per pole may be constructed on a lot.



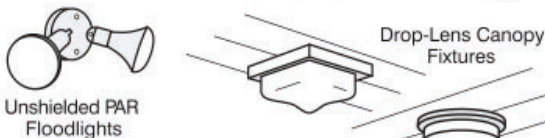
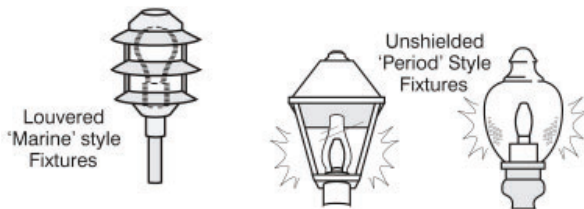
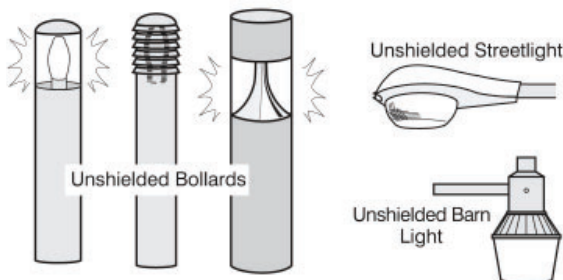
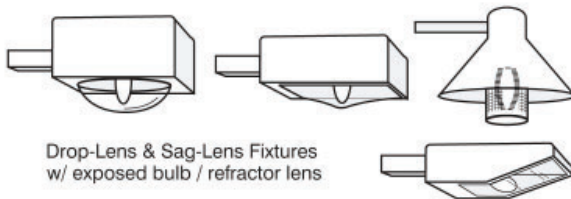
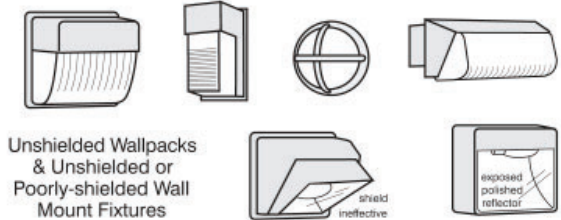
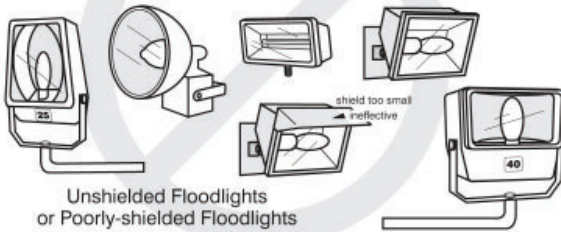
## Permitted Bulbs

Energy-efficient LED lights are preferred but incandescent and quartz lights are permitted. Sodium vapor, mercury vapor, metal halide, fluorescent, colored, or neon lights may not be used.

## Examples of Permitted Fixtures

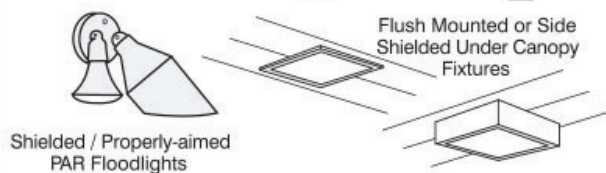
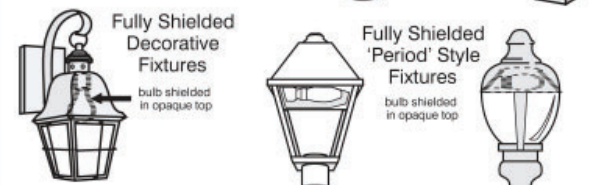
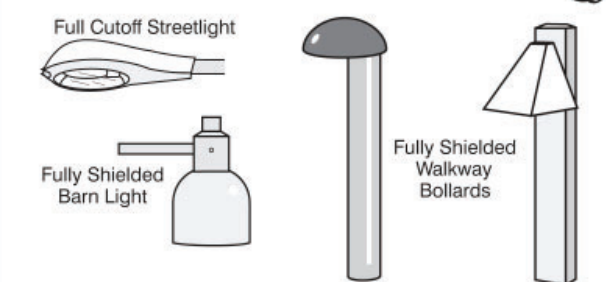
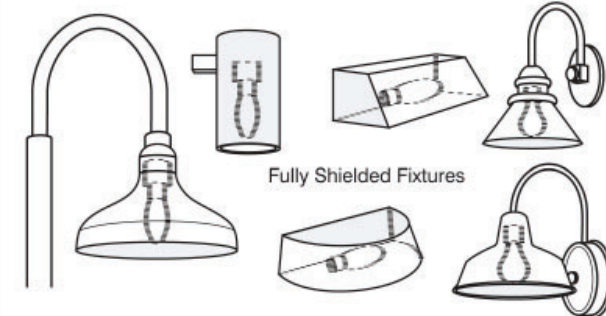
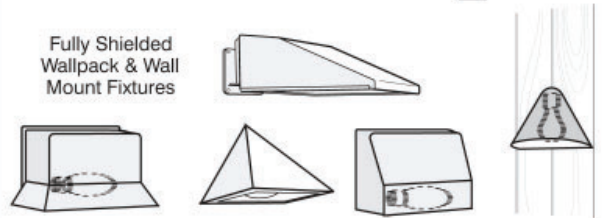
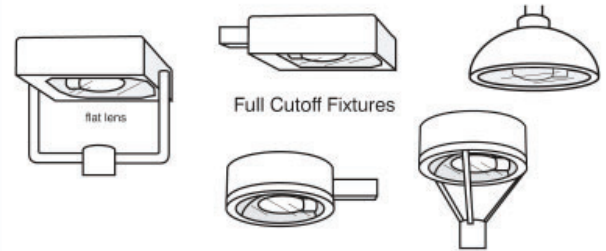
### Unacceptable / Discouraged

Fixtures that produce glare and light trespass



### Acceptable

Fixtures that shield the light source to minimize glare and light trespass and to facilitate better vision at night



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## Fencing

Fencing is not required but all proposed fencing must comply with this subsection.

### Perimeter

Fencing along a property boundary not external to the Mesa Verde subdivision must be unfinished steel 5 feet in height. Perimeter fencing must be 35 feet from a property boundary when adjacent to a roadway and must be located on the property boundary when not adjacent to a roadway. Posts must be 4x4 inch square tubing, spaced 10 feet on center, with 4 welded crossmembers of 2-inch square tubing rotated 45 degrees.



### Masonry

Masonry walls used as fencing must be at least 75 feet from a property boundary and may be up to 6 feet in height. Walls may be freestanding or attached to a structure. Masonry walls may be constructed of stone, brick, or stucco and must comply with the Exterior Finishes and Details subsection.



## Wrought Iron

Wrought iron fencing must be located in the rear or side yard at least 75 feet from a property boundary, and may be up to 6 feet in height. Wrought iron fencing must be powdercoated black, posts must be at least 3 inches in width, vertical pickets and horizontal crossmembers must be 1 inch in width. Posts must be spaced 8 feet on center. An additional pet bar system may be located two feet above grade in order to prevent smaller pets from crossing through. Changes in grade should be traversed by stepping each section down with crossmembers and pickets parallel to the horizon, not parallel to the slope.



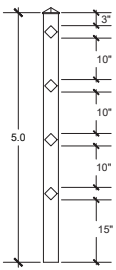
## External

Wire fencing along a property boundary external to the Mesa Verde subdivision must be located on the property boundary in the rear or side yard, and must be 5 feet in height. If a wire fence is already present along an external property boundary, a double fence need not be constructed. If replacement is coordinated with an adjacent external property owner, the fence should be woven wire field fencing with wire pattern no greater than 2 inches by 4 inches. An additional smooth top wire should be affixed above field fencing to provide a visual cue for safety and discourage leaning over to graze. Line posts must be 6-inch round treated wood or 3-inch round unfinished steel pipe or 4-inch square. Posts must be spaced 10 feet on center. Corner posts and braces must be unfinished steel pipe between 3 and 6 inches in diameter.

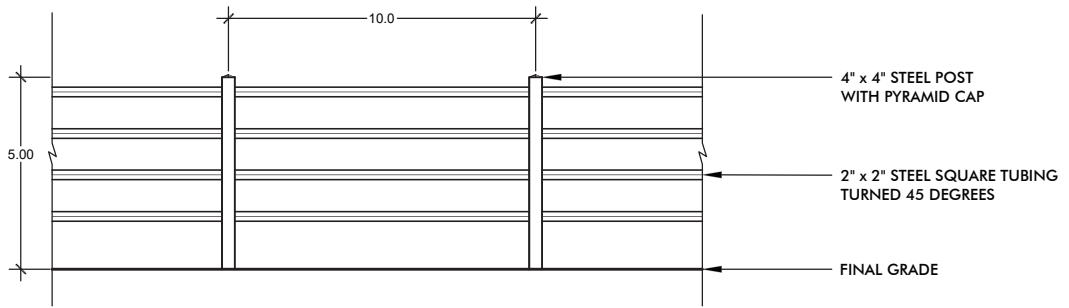


# Fencing Details

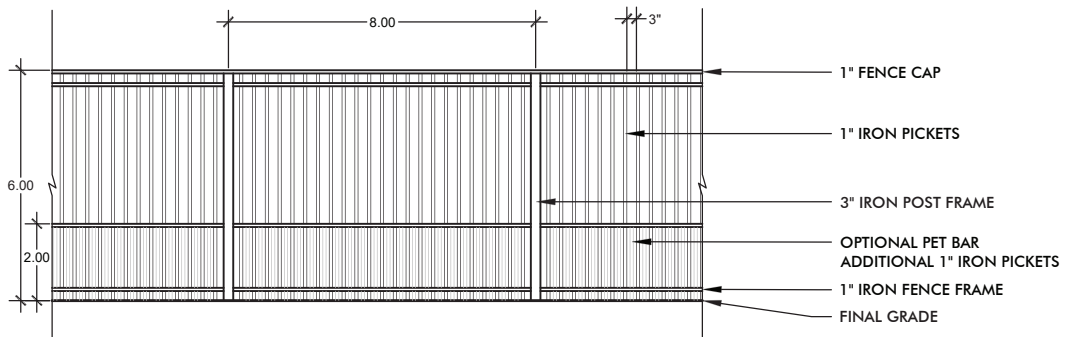
SECTION VIEW



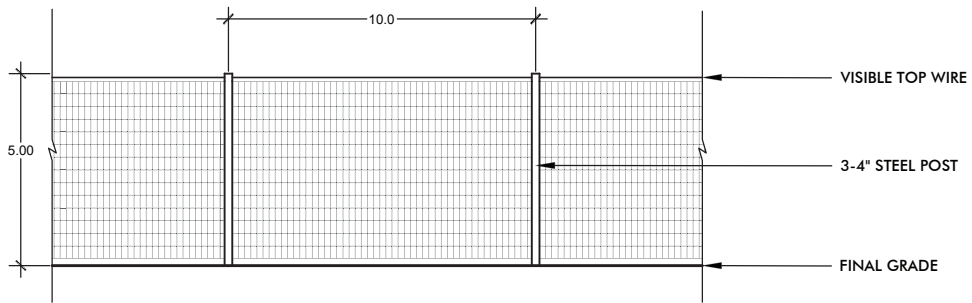
PERIMETER



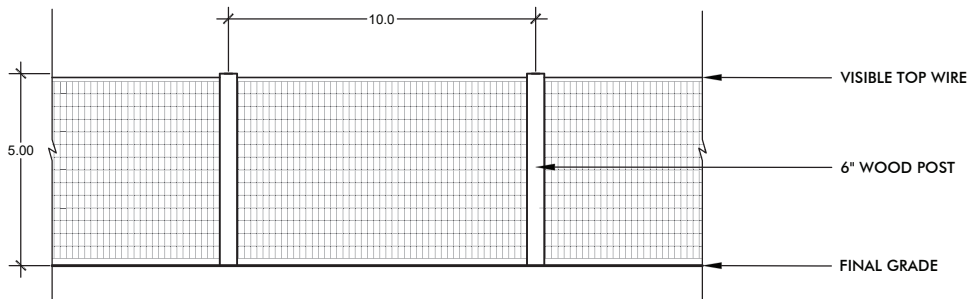
WROUGHT IRON



EXTERNAL - STEEL



EXTERNAL - WOOD





**LANDSCAPE**

## Texas Hill Country

The Texas Hill Country is a unique, environmentally-sensitive ecosystem which is experienced most profoundly through the landscape of native vegetation.

### Preservation

Existing native trees and vegetation add significant value and must be preserved to the greatest extent possible. Preservation of undisturbed stands of trees with existing understory reduces cost, planting requirements, and irrigation requirements in addition to maintaining the natural look and functionality of plant communities. Development should be sited carefully to minimize environmental impacts, clearing and grading only what is necessary for driveways, infrastructure, structures and wildfire-resistant clearances around them. Natural landscape character should be maintained through preserving not only larger trees but groups of smaller trees and vegetation that are significant for their rarity, screening potential, wildlife habitat, water quality, soil conservation, and aesthetic value.

### Grading

Site grading should be minimized wherever possible to reduce erosion and impact to existing trees and vegetation unless part of a comprehensive landscape design that includes retaining walls and edging. In areas where existing grade is being preserved, up to 4 inches of topsoil or sand may be added for minor leveling and to aid the germination process for grasses, wildflowers, and other vegetation; fill greater than 4 inches begins to damage existing trees and vegetation as oxygen levels are decreased. Site grading may not cause adverse impact to adjacent downstream properties by significantly redirecting, increasing the velocity or concentration of overland flow.



## Landscaping

Landscaping should be inspired by and contextually consistent with the natural Hill Country aesthetic and environment including plants selected for their heat, cold, and drought tolerance. This is accomplished most simply through the use of native plants which create a more resilient, water-conserving, and low-maintenance landscape. Landscape areas should be placed where best-suited for the site conditions like existing tree canopy, orientation, topography, and soils. Many plants require full sun while others require shade and some are on the continuum between.



### Planting or Preservation Requirements

Preservation of existing trees and vegetation counts toward planting requirements. Each lot must have at least 12 shade trees, 9 ornamental trees, and 12 large shrubs from the Recommended Plant List in Appendix A.

### Recommended Plant List

These plants were selected for their compatibility with or natural occurrence in the Texas Hill Country ecosystem. Some of the plants may not be available from large commercial retailers but can be found at smaller local nurseries specializing in native plants. The Recommended Plant List is attached in Appendix A.

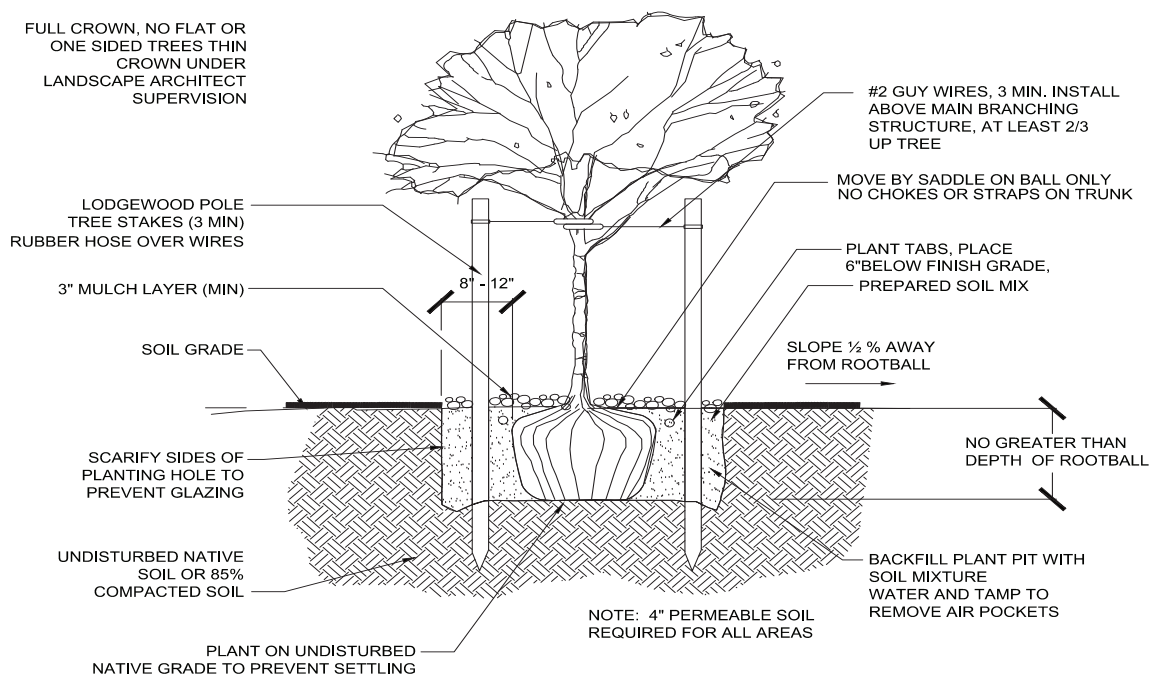


## Planting Details

Regardless of size, root balls must be scored or broken up and spread out during planting to allow stabilizing lateral roots to spread in all directions.

### *Trees and Shrubs*

Holes should be widened at least 12 inches beyond the lateral roots on all sides and backfilled with a mixture of 1/3 removed native soil, 1/3 compost, and 1/3 sand. Stakes should only be used if necessary and left in place for the minimum time necessary for the tree to develop stabilizing roots. Guy wires should be wrapped lightly around the tree and some slack left to allow natural movement. Depending on size of the tree at time of planting, stakes should be removed after 3-6 months. Staking is typically unnecessary for shrubs.



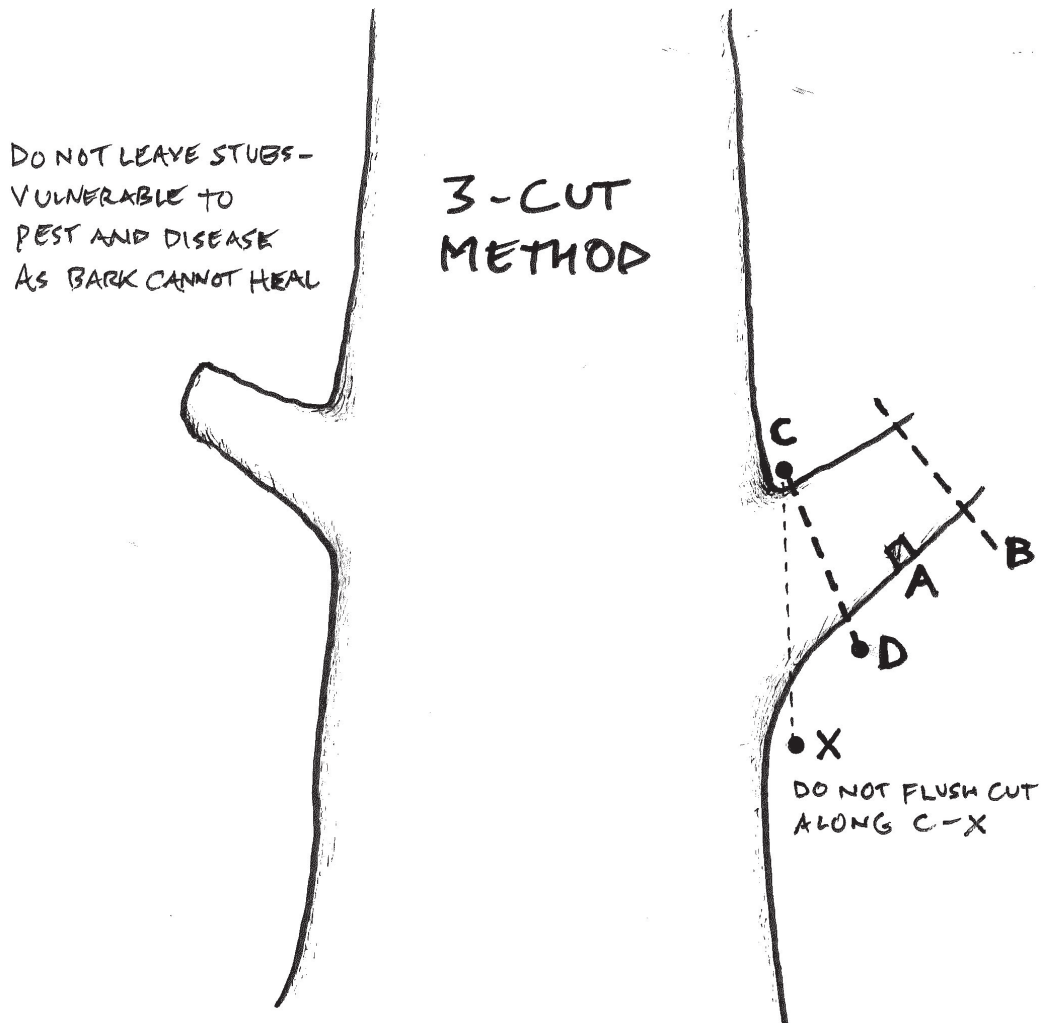
**A** TREE PLANTING AND STAKING DETAIL  
SCALE: N.T.S.

## Mulch

Mulch helps reduce moisture loss through evaporation, insulate soil and root systems from fluctuations in air temperature, and mitigate weed germination, growth, and spread. All landscape areas should be mulched with at least 1-1.5 inches of finely shredded native hardwood mulch; dyed mulch may not be used.

## Pruning

Trees should be pruned using International Society of Arboriculture (ISA) best practices. No more than 25 percent of the canopy may be removed per year. Pruning should generally occur during the coldest dormant period before new spring growth emerges to reduce stress to trees and prevent the spread of diseases like Oak Wilt.



1. BACK CUT PART WAY AT A
2. CUT OFF AT B
3. MAKE FINAL CUT ALONG C-D

## Oak Wilt

Oak Wilt is caused by a fungus (*Bretziella fagacearum*) which spreads underground through connected roots, transmitted overland by sap beetles feeding on fresh-cut wood, and chainsaws or other pruning implements being used between trees without sterilization. The disease disables the water-conducting system often resulting in mortality. Older trees are generally more vulnerable to infection and should be cautiously pruned to the minimum extent necessary. Oaks should not be pruned between February and June when fungal spores are most likely to affect trees. Pruning wounds on oaks should be painted within 15 minutes. Note that infected wood should not be stored near healthy trees and should be covered until dry as the fungus requires moisture to survive.

## Tree Protection During Construction

All preserved trees must be protected with the following measures:

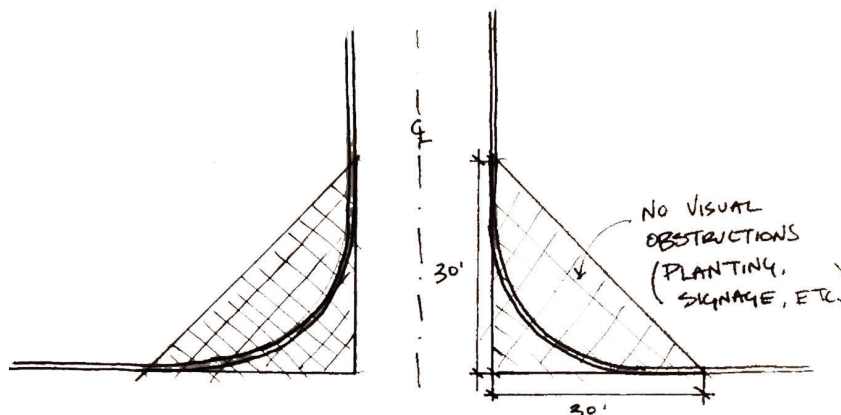
- A. Fencing or barricades must be placed around the extent of tree canopy (which roughly corresponds to its root zone) to prevent soil compaction and root damage from machinery, materials staging, and equipment storage.
- B. Mechanized grading may not occur within root zones.
- C. Grading may not cause water to pool around trees.
- D. Utilities should be located outside of root zones to the greatest extent possible, however, boring, air spading, and hand-digging must be used instead of mechanized open trench if utilities must be routed through critical root zones.

## Right-of-Way

As shown on the subdivision plat, the right-of-way extends beyond the edge of pavement to property boundaries of each lot. Trees, shrubs, grass, vegetation, and stones may not be installed in or removed from this area without written approval from the ACC. Other than driveway approaches, address monuments, and naturally-occurring vegetation, decorative appurtenances may not be placed in the right-of-way.

## Sight Distance Triangle

The sight distance triangle is the area around an intersection where line-of-sight must be maintained. Adjacent property owners may not place trees, shrubs, or other obstructions within this area.



## Wildfire-Resistant Landscape Design

Central Texas is generally at great risk for wildfire damage and Mesa Verde is within the “high wildfire risk” area according to the Texas A&M Forest Service. It is strongly recommended the landscape 5-30 feet from any structure is designed and managed in accordance with wildfire prevention principles and best practices.

Trees and vegetation should be pruned to maintain at least 5 feet clearance from structures. Leaf litter and debris should be removed from roofs, rain gutters, patios, balconies, atop and beneath wood decks so embers do not gather and ignite combustible material.



## Hardscape Areas

Hardscape areas should be responsive to and consistent with the primary residence using materials that match or are compatible with materials used on structures. Hardscape areas may consist of up to 2 materials from this section used in any combination, however, brick and stone may not be combined. Hardscape areas must use a compacted base, sand setting bed, and edge restraint. Joints may be mortared, mortarless, or stabilized with jointing sand. Hardscape areas must be constructed in a workmanlike manner using quality building materials.

### Concrete

Concrete may be used for driveways, walkways, and patios. Concrete may be scored and patterned or traditionally flat but should use control and expansion joints to minimize area to be replaced if cracking occurs.

### Brick

Bricks may be used for walkways and patios.

### Stone

Stone blocks or pavers may be used for walkways and patios.

### Flagstone

Flagstone may be used for walkways and patios. Flagstone should be locally-sourced limestone reasonably consistent in appearance as it varies in texture and color.



## Edging and Retaining Walls

Edging and retaining walls should be used to contain and define turf areas, landscape areas, patios, paths, asphalt or gravel driveways, and changes in grade where human intervention is used for effect. Edging and retaining walls should be responsive to and consistent with the primary residence using materials that match or are compatible with materials used on structures. Edging and retaining walls may consist of up to 2 materials from this section used in any combination. Retaining walls over four feet in height must be designed by a Texas-licensed professional engineer. Edging and retaining walls must be constructed in a workmanlike manner using quality building materials.

### Steel

Steel edging must be natural Corten steel at least ¼" thick and 4 inches in height.

### Concrete

Concrete edging should be 4 inches in width and 4 inches in depth with control joints and a smooth finish.

### Limestone

Limestone should be locally-sourced and reasonably consistent in appearance as it varies in size, shape, texture, and color.



## Appendix A

### RECOMMENDED PLANT LIST

#### Shade Trees

- Blackjack Oak (*Quercus marilandica*)
- Cedar Elm (*Ulmus crassifolia*)
- Escarpment Black Cherry (*Prunus serotina* var. *eximia*)
- Escarpment Live Oak (*Quercus fusiformis*)
- Lacey Oak (*Quercus laceyi*)
- Post Oak (*Quercus stellata*)
- Texas Red Oak (*Quercus buckleyi*)
- White Shin Oak (*Quercus sinuata* var. *breviloba*)

#### Ornamental Trees

- American Smoketree (*Cotinus obovatus*)
- Anacacho Orchid Tree (*Bauhinia lunarioides*)
- Bigtooth Maple (*Acer grandidentatum*)
- Carolina Buckthorn (*Frangula caroliniana*)
- Eve's Necklance (*Sophora affinis*)
- Flameleaf Sumac (*Rhus lanceolata*)
- Gum Bumelia (*Sideroxylon lanuginosum*)
- Honey Mesquite (*Prosopis glandulosa*)
- Mexican Buckeye (*Ungnadia speciosa*)
- Mexican Plum (*Prunus mexicana*)
- Possumhaw Holly (*Ilex decidua*)
- Red Buckeye (*Aesculus pavia*)
- Roughleaf Dogwood (*Cornus drummondii*)
- Rusty Blackhaw Viburnum (*Viburnum rufidulum*)
- Texas Kidneywood (*Eysenhardtia texana*)
- Texas Madrone (*Arbutus xalapensis*)
- Texas Mountain Laurel (*Sophora secundiflora*)
- Texas Persimmon (*Diospyros texana*)
- Texas Redbud (*Cercis canadensis* var. *texensis*)
- Wafer Ash (*Ptelea trifoliata*)
- Yaupon Holly (*Ilex vomitoria*)

## Large Shrubs

Agarita (*Mahonia trifoliolata*)  
American Beautyberry (*Callicarpa americana*)  
Aromatic Sumac (*Rhus aromatica*)  
Compact Cherry Laurel (*Prunus caroliniana* 'Compacta')  
Elbowbush (*Forestiera pubescens*)  
Evergreen Sumac (*Rhus virens*)  
Mexican Silktassel (*Garrya ovata* ssp. *lindheimeri*)  
Turks Cap (*Malvaviscus arboreus*)  
Yellow Bells (*Tecoma stans*)

## Medium to Small Shrubs

Autumn Sage (*Salvia greggii*)  
Barbados Cherry (*Malpighia glabra*)  
Compact Cenizo (*Leucophyllum frutescens* 'Compacta')  
Coralberry (*Symphoricarpos orbiculatus*)  
Chile Pequin (*Capsicum annuum* var. *glabriusculum*)  
Dwarf Yaupon Holly (*Ilex vomitoria*)  
Fall Aster (*Symphotrichum oblongifolium*)  
Flame Acanthus (*Anisacanthus quadrifidus*)  
Texas Lantana (*Lantana urticoides*)  
White Mistflower (*Ageratina havanensis*)

### Non-Native

Chinese Fringe Flower (*Loropetalum chinense*)  
Drift Rose (*Rosa Hybrid* 'Drift')  
Mexican Oregano (*Lippia graveolens*)  
Rosemary (*Salvia rosmarinus*)

## Ornamental Grasses

Big Muhly (*Muhlenbergia lindheimeri*)  
Gulf Muhly (*Muhlenbergia capillaris*)  
Inland Sea Oats (*Chasmanthium latifolium*)  
Little Bluestem (*Schizachyrium scoparium*)  
Meadow Sedge (*Carex perdentata*)  
Pine Muhly (*Muhlenbergia dubia*)  
Sideoats Grama (*Bouteloua curtipendula*)  
Seep Muhly (*Muhlenbergia reverchonii*)  
Texas Sedge (*Carex texensis*)

### Non-Native

Bamboo Muhly (*Muhlenbergia dumosa*)



## Flowers

Big Red Sage (*Salvia pentstemonoides*)  
Black-eyed Susan (*Rudbeckia hirta*)  
Blackfoot Daisy (*Melampodium leucanthum*)  
Blue Curls (*Phacelia congesta*)  
Blue Mistflower (*Conoclinium coelestinum*)  
Butterfly Weed (*Asclepias tuberosa*)  
Cedar Sage (*Salvia roemeriana*)  
Four Nerve Daisy (*Tetraneris scaposa*)  
Gayfeather (*Liatris mucronata*)  
Golden Columbine (*Aquilegia chrysantha*)  
Golden-Wave (*Coreopsis basalis*)  
Gregg's Mistflower (*Conoclinium greggii*)  
Lanceleaf Coreopsis (*Coreopsis lanceolata*)  
Mealy Blue Sage (*Salvia farinacea*)  
Mexican Hat (*Ratibida columnifera*)  
Missouri Violet (*Viola sororia*)  
Mountain Pinks (*Centaurium beyrichii*)  
Pink Evening Primrose (*Oenothera speciosa*)  
Prairie Paintbrush (*Castilleja purpurea*)  
Prairie Verbena (*Glandularia bipinnatifida*)  
Purple Coneflower (*Echinacea purpurea*)  
Red Columbine (*Aquilegia canadensis*)  
Rock Penstemon (*Penstemon baccharifolius*)  
Rock Rose (*Pavonia lasiopetala*)  
Shrubby Skullcap (*Scutellaria wrightii*)  
Skeleton-leaf Goldeneye (*Viguiera stenoloba*)  
Sleepy Daisy (*Xanthisma texanum*)  
Smooth White Penstemon (*Penstemon digitalis*)  
Tahoka Daisy (*Machaeranthera tanacetifolia*)  
Texas Bluebonnet (*Lupinus texensis*)  
Velvet Leaf Senna (*Senna lindheimeriana*)  
Winecup (*Callirhoe involucrata*)  
White Avens (*Geum canadense*)  
Zexmenia (*Wedelia hispida*)

### Non-Native

Mexican Bush Sage (*Salvia leucantha*)  
Mexican Honeysuckle (*Justicia spicigera*)  
Pink Skullcap (*Scutellaria suffrutescens*)

## Xeric Accents

- Beargrass (*Nolina texana*)
- Green Lily (*Schoenocaulon texanum*)
- Prickly Pear (*Opuntia engelmannii* var. *lindheimeri*)
- Red Yucca (*Hesperaloe parviflora*)
- Softleaf Yucca (*Yucca arkansana*)
- Texas Sotol (*Dasylirion texanum*)
- Twistleaf Yucca (*Yucca rupicola*)

## Vines

- Alamo Vine (*Merremia dissecta*)
- Bracted Passionflower (*Passiflora affinis*)
- Coral Honeysuckle (*Lonicera sempervirens*)
- Pearl Milkweed Vine (*Matelea reticulata*)
- Purple Leatherflower (*Clematis pitcheri*)
- Scarlet Leatherflower (*Clematis texensis*)
- Texas Wisteria (*Wisteria frutescens*)
- Trumpet Vine (*Campsis radicans*)
- Virginia Creeper (*Parthenocissus quinquefolia*)

## Groundcovers

- Silver Ponyfoot (*Dichondra argentea*)
- Texas Frogfruit (*Phyla nodiflora*)
- Woolly Stemodia (*Stemodia lanata*)

## Turf Grass

- Buffalograss (*Bouteloua dactyloides*)
- Blue Grama (*Bouteloua gracilis*)

### Non-Native

- Zoysia

# Appendix B

## DEVELOPMENT STANDARDS SUMMARY

MESA VERDE: DESIGN

STRUCTURES				
	Minimum Building Setback (ft)	Maximum Structure Size (s.f.)	Maximum Structure Height (ft.)	Maximum Structures Per Lot
Primary Residence	100' from any property line	10,000	40	1
Accessory Structures				
Detached Garage	75' from any property line	2,500	30	1
Guesthouse	75' from any property line	2,500	30	1
Other Outbuildings	75' from any property line	600	15	1
Shade Structures	75' from any property line	800	15	2
Horse Barn / Stable	100' from any property line	5,000	35	1
Chicken Coop	100' from any property line	50	10	1
Beehive / Apiary	100' from any property line	100	5	N/A
Dog Kennel	100' from any property line	100	7	1
Treehouse / Play Structure	100' from any property line	200	15	1

ADDITIONAL INFRASTRUCTURE			
	Minimum Setback (ft)	Minimum Width (ft)	Apron Width (ft)
Driveways (all lots but those below) <sup>1</sup>	75' from a side property line	14	30 (EOP)
Lots 7, 8, 12, 21, 22, 23	25' from a side property line	14	30 (EOP)
	<sup>1</sup> See Driveways section of Design Guidelines for additional requirements.		
	Minimum Setback (ft)	Maximum Size (s.f.)	Maximum Units Per Lot
Vehicle Gate	35' from front property line	14	1
	Minimum Setback (ft)	Maximum Height (ft)	Maximum Units Per Lot
Swimming Pool / Hot Tub	100' from any property line	8 ( <sup>1</sup> )	N/A
	<sup>1</sup> Maximum height above pool deck surface for diving boards, slides, waterfalls.		
	Minimum Setback (ft)	Maximum Size (s.f.)	Maximum Units Per Lot
Sport Court	100' from any property line	5,000	1
	Minimum Setback (ft)	Maximum Size (s.f.)	Maximum Units Per Lot
Propane Tank	100' from any property line	N/A	N/A
Flags <sup>1</sup>	Maximum Dimensions of Flagpole (ft)	Max. Flag Dimensions (ft)	Maximum # Flags Per Lot
Structure-Mounted	5' in length	3 x 5	2
Freestanding Vertical	20' in height	3 x 5	1
	<sup>1</sup> Flags may be illuminated by up to 1 halogen exterior light of low intensity. See Flags section of Design Guidelines for additional requirements.		
Exterior Lighting	Maximum Height (ft)	Maximum Size (s.f.)	Maximum Units Per Court
Structure-Mounted	10		
Sport Court	20	N/A	4

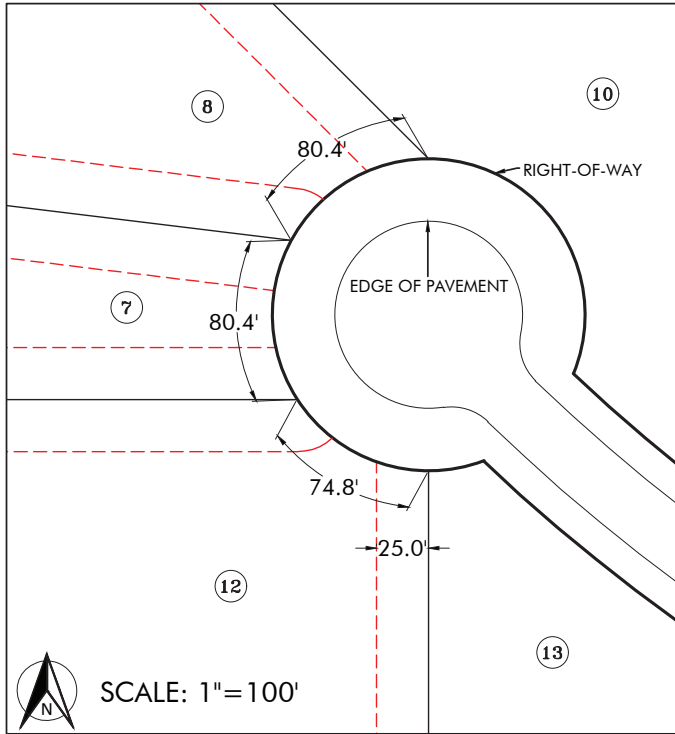
# Appendix C

## BUILDING AND DRIVEWAY SETBACKS

### LEGEND:

- 100' BUILDING SETBACK
- 75' BUILDING SETBACK
- 25' DRIVEWAY SIDE SETBACK
- FRONT LOT DESIGNATION
- ## LOT NUMBER

### CUL-DE-SAC ENLARGEMENT 1



### CUL-DE-SAC ENLARGEMENT 2

